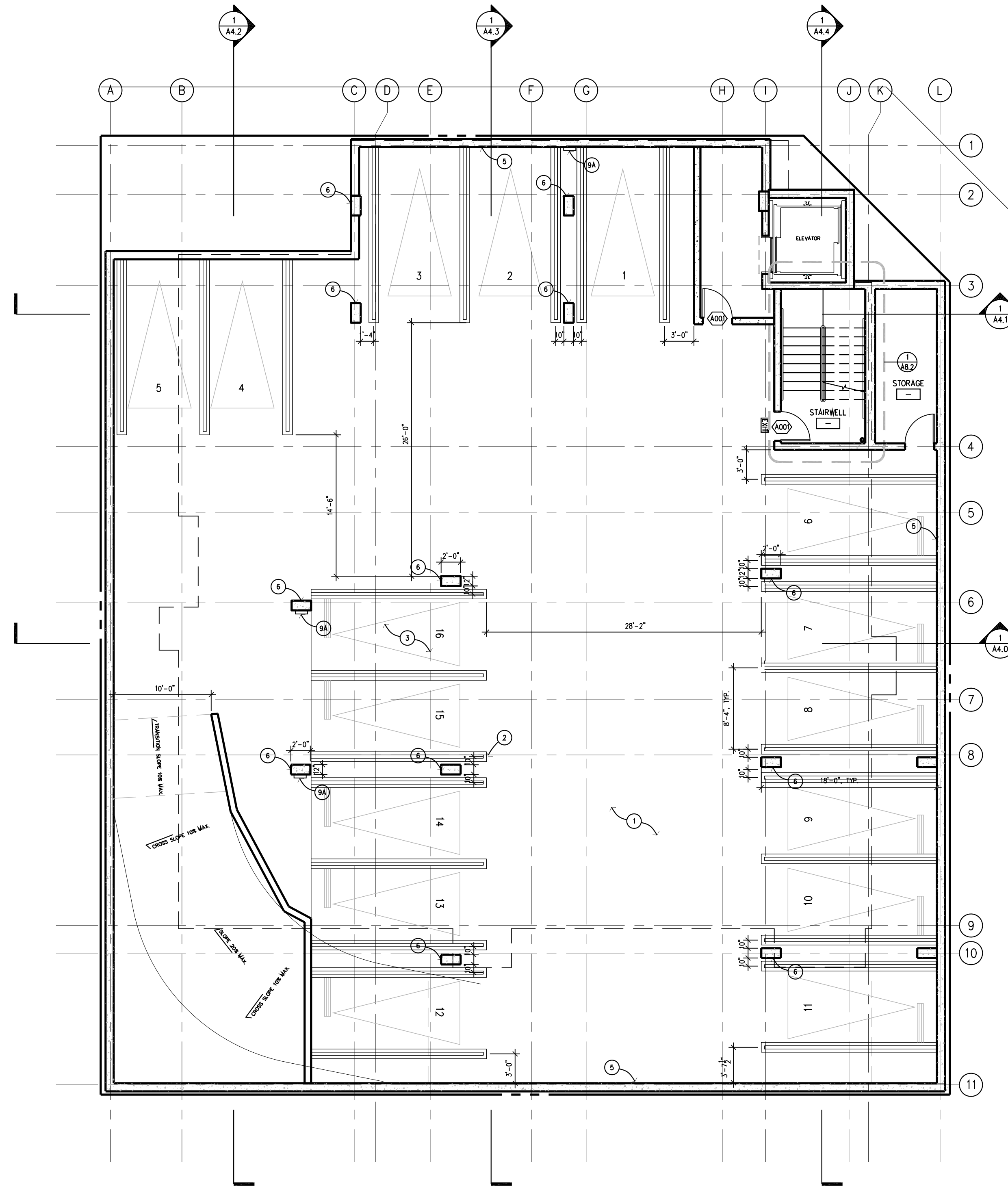


BURBANK BLVD.



KLUMP AVE

GARAGE PLAN GENERAL NOTES

- 1). SEE STRUCTURAL DRAWINGS AND SOILS REPORT FOR CONCRETE SLAB SPECIFICATIONS.
- 2). SEE CIVIL DRAWINGS FOR GRADING.
- 3). TYPE I CONSTRUCTION, NON-COMBUSTIBLE CONSTRUCTION THROUGHOUT.
- 4). AUTOMATIC FULLY SPRINKLERED FIRE SPRINKLER SYSTEM THROUGHOUT, WITH CLASS 1 STANDPIPE AT STAIR LANDINGS AND EXIT DOORS.
- 5). A FIRE ALARM SYSTEM IS REQUIRED FOR THIS STRUCTURE. PLANS FOR THE FIRE SYSTEM MUST BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATIONS.
- 6). THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 7). FLOORS AT GARAGES SHALL DRAIN TO AN APPROVED OIL SEPARATOR OR TRAP DISCHARGING TO THE SEWER IN ACCORDANCE WITH THE PLUMBING CODE.
- 8). ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN.
- 9). AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- 10). ALL PLUMBING PENETRATION THROUGH WALLS WHICH REQUIRED PROTECTIVE OPENINGS ARE REQUIRED TO BE GALVANIZED OR CAST IRON PLUMBING, SEE PLUMBING DRAWINGS.
- 11). SEE FINISH SCHEDULE FOR FLAME SPREAD RATING OF FINISHES.
- 12). THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- 13). VERIFY ROUGH OPENING DIMENSIONS OF ALL DOORS BEFORE CONSTRUCTION LAYOUT.
- 14). FENCE, WALLS, GATE, AND GLASS 9'-0" MAX. HEIGHT TO BE COATED WITH ANTI-GRAFFITI COATING, L.A. RESEARCH NUMBER 25042-T.
- 15). BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE TO L.A.M.C. 57.09.11.
- 16). DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- 17). THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- 18). THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- 19). FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- 20). ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE.

REFERENCE NOTES

- | | |
|--|---|
| ① CONCRETE OVER RECOMPACTED SOIL, SEE SOILS REPORT AND STRUCTURAL REPORT | ⑥ 12" WIDE CONCRETE PERIMETER WALL AT PROPERTY LINE W/ WATERPROOFING LARR# 24860, SEE STRUCTURAL DRAWINGS, SEPARATE PERMIT REQUIRED |
| ② PARKING STALL STRIPING PER CITY OF LOS ANGELES STANDARDS, TYP. | ⑦ STRUCTURAL CONCRETE COLUMN, SEE STRUCTURAL DRAWINGS |
| ③ STANDARD PARKING SPACES, TYP. | |
| ④ HANDICAPPED PARKING STALL W/ 8' WIDE VAN ACCESS | |
| ⑤ LINE OF BUILDING ABOVE | |

WALL LEGEND

- | | | |
|---|--|--|
| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50
SEE DETAIL... 2/A7.4 |
| 2 | | EXTERIOR STUCCO WALL: 2-HOUR FIRE RATED, STC 50
SEE DETAIL...6/A7.4 |
| 3 | | PARTY WALL: 1-HOUR FIRE RATED, STC 50
SEE DETAIL...3/A7.4 |
| 4 | | ELEVATOR/STAIR ENCLOSURE: 2-HOUR FIRE RATED
SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
| 5 | | INTERIOR WALL PARTITION: NON-BEARING
SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED
SEE DETAIL 1/A7.5 |

8'-2" MIN. CEILING CLEARANCE FOR ACCESSIBLE VAN

BELOW GRADE GARAGE PLAN

1/8" = 1'-0"

1

OWNER/CLIENT
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PROJECT
**BURBANK BLVD.
APARTMENTS**

No.	DATE	REVISIONS
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Stamp:

PROJECT NO.

Checked By **PETER SUN**

Approved By **PETER SUN**

Date Issued **07/21/2021**

Scale **SEE PLAN**

Drawing Title

**BELOW GRADE
GARAGE PLAN**

Drawing No.

A2.0

- of - Sheets

GARAGE PLAN GENERAL NOTES

- SEE STRUCTURAL DRAWINGS AND SOILS REPORT FOR CONCRETE SLAB SPECIFICATIONS.
- SEE CIVIL DRAWINGS FOR GRADING.
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- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- ALL PLUMBING PENETRATION THROUGH WALLS WHICH REQUIRED PROTECTIVE OPENINGS ARE REQUIRED TO BE GALVANIZED OR CAST IRON PLUMBING, SEE PLUMBING DRAWINGS.
- SEE FINISH SCHEDULE FOR FLAME SPREAD RATING OF FINISHES.
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- VERIFY ROUGH OPENING DIMENSIONS OF ALL DOORS BEFORE CONSTRUCTION LAYOUT.
- FENCE, WALLS, GATE, AND GLASS 9'-0" MAX. HEIGHT TO BE COATED WITH ANTI-GRAFFITI COATING, L.A. RESEARCH NUMBER 25042-T.
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- ALL DOWNSPOUTS TO DRAIN TO PROPOSED STORMWATER PLANTERS P1 & P2, SEE CIVIL DRAWING C- FOR PLANTER DETAIL.

REFERENCE NOTES

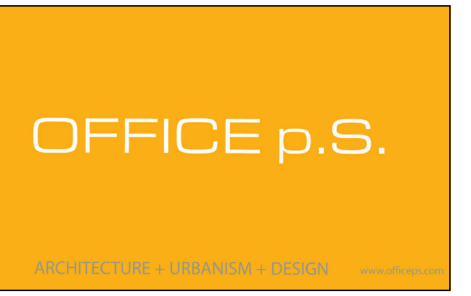
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|---|--|
| 1 CONCRETE OVER RECOMPACTED SOIL, SEE SOILS REPORT AND STRUCTURAL REPORT | 10 6'-0" HIGH WROUGHT IRON FENCE W/ ANTI-GRAFFITI PAINT |
| 2 PARKING STALL STRIPING PER CITY OF LOS ANGELES STANDARDS, TYP. | 11 1'-6" HIGH RAISED CMU PLANTER |
| 3 STANDARD PARKING SPACES, TYP. | 12 FIRE DEPT. CONNECTION, WITHIN 100' OF HYDRANT, REQUIRED |
| 4 HANDICAPPED PARKING STALL W/ 8' WIDE VAN ACCESS | 13 CLASS I STANDPIPE |
| 5 10" WIDE CONCRETE PERIMETER WALL AT PROPERTY LINE W/ WATERPROOFING LARR# 24860, SEE STRUCTURAL DRAWINGS, SEPARATE PERMIT REQUIRED | 14 ROOF DECKING ABOVE |
| 6 STRUCTURAL CONCRETE COLUMN, SEE STRUCTURAL DRAWINGS | 15 REMOTE GARAGE GATE |
| 6A (E) LOCATION OF FIRE HYDRANT | 15A (N) BOLLARD |
| 7 LINE OF BUILDING ABOVE | 16 CONDUIT FOR ELECTRIC CHARGING STATION |
| 8 SMOKE GUARD, 1CC-ES#SR-1136 | 17 MAILBOX |
| 8A LINE OF DRAFT STOP & WATER CURTAIN ABOVE | 18 BICYCLE RACKS |
| 9 DEX-0-TEX, LARR#2360 | 19 LOCATION FOR INVERTERS & METERING FOR SOLAR ZONE |
| 9A ELECTRIC VEHICLE CHARGER, SEE ELEC. DWGS. FOR FURTHER INFO. | 20 ROUTING PATHWAY FROM SOLAR ZONE TO MAIN SERVICE PANEL |
| 9B FIRE DEPARTMENT KNOX-BOX FOR GARAGE GATE | |

WALL LEGEND

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|---|--|--|
| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50
SEE DETAIL... 2/A7.4 |
| 2 | | EXTERIOR STUCCO WALL: 2-HOUR FIRE RATED, STC 50
SEE DETAIL...6/A7.4 |
| 3 | | PARTY WALL: 1-HOUR FIRE RATED, STC 50
SEE DETAIL...3/A7.4 |
| 4 | | ELEVATOR/STAIR ENCLOSURE: 2-HOUR FIRE RATED
SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
| 5 | | INTERIOR WALL PARTITION: NON-BEARING
SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED
SEE DETAIL 1/A7.5 |
| 7 | | METAL FRAME WALL: 1 HR FIRE RATED
SEE DETAIL 1/A7.5 |
| | | 8'-2" MIN. CEILING CLEARANCE FOR ACCESSIBLE VAN |

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PROJECT
BURBANK BLVD.
APARTMENTS

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Checked By PETER SUN

Approved By PETER SUN

Date Issued 07/21/2021

Scale SEE PLAN

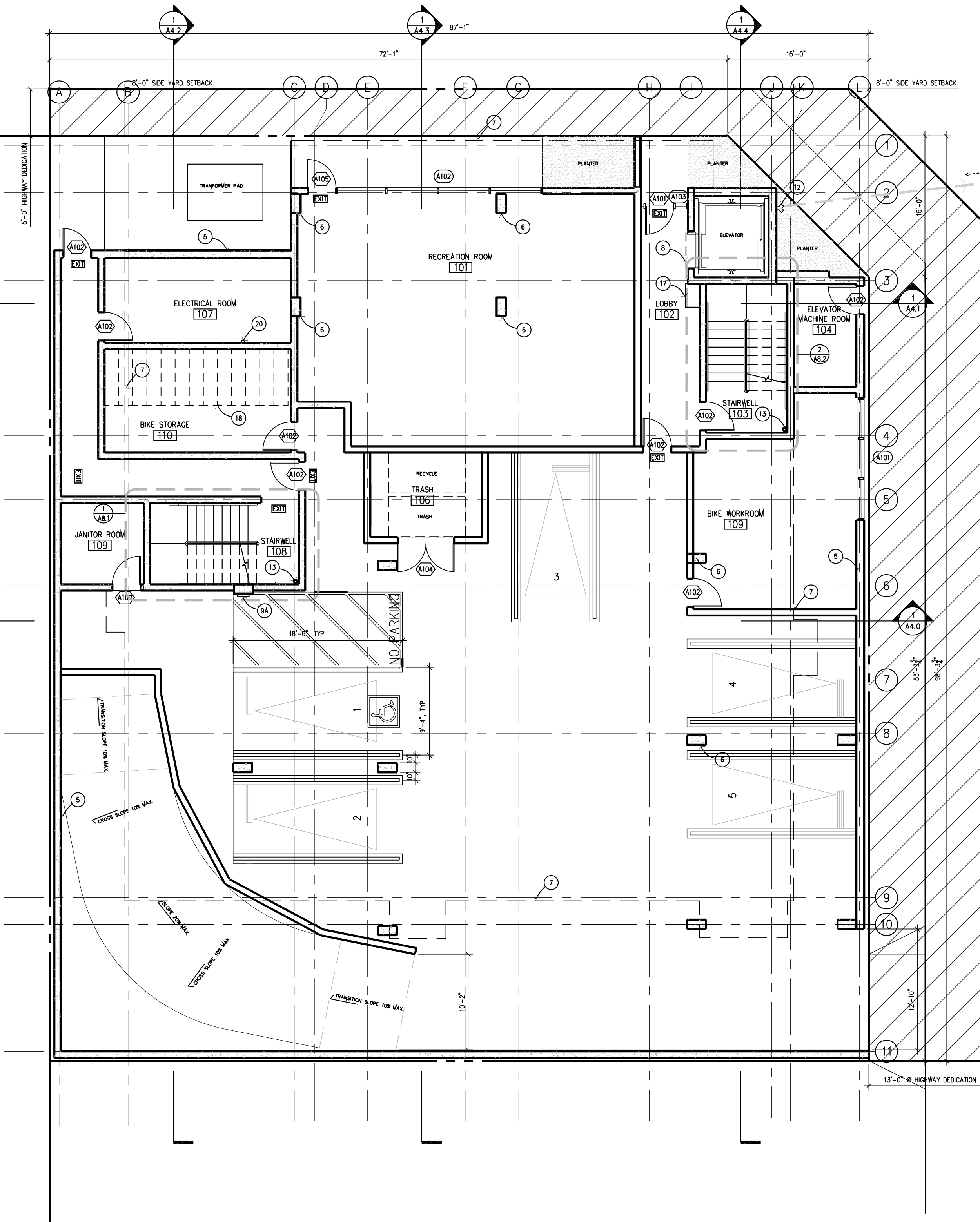
Drawing Title
GROUND LEVEL PLAN

Drawing No.

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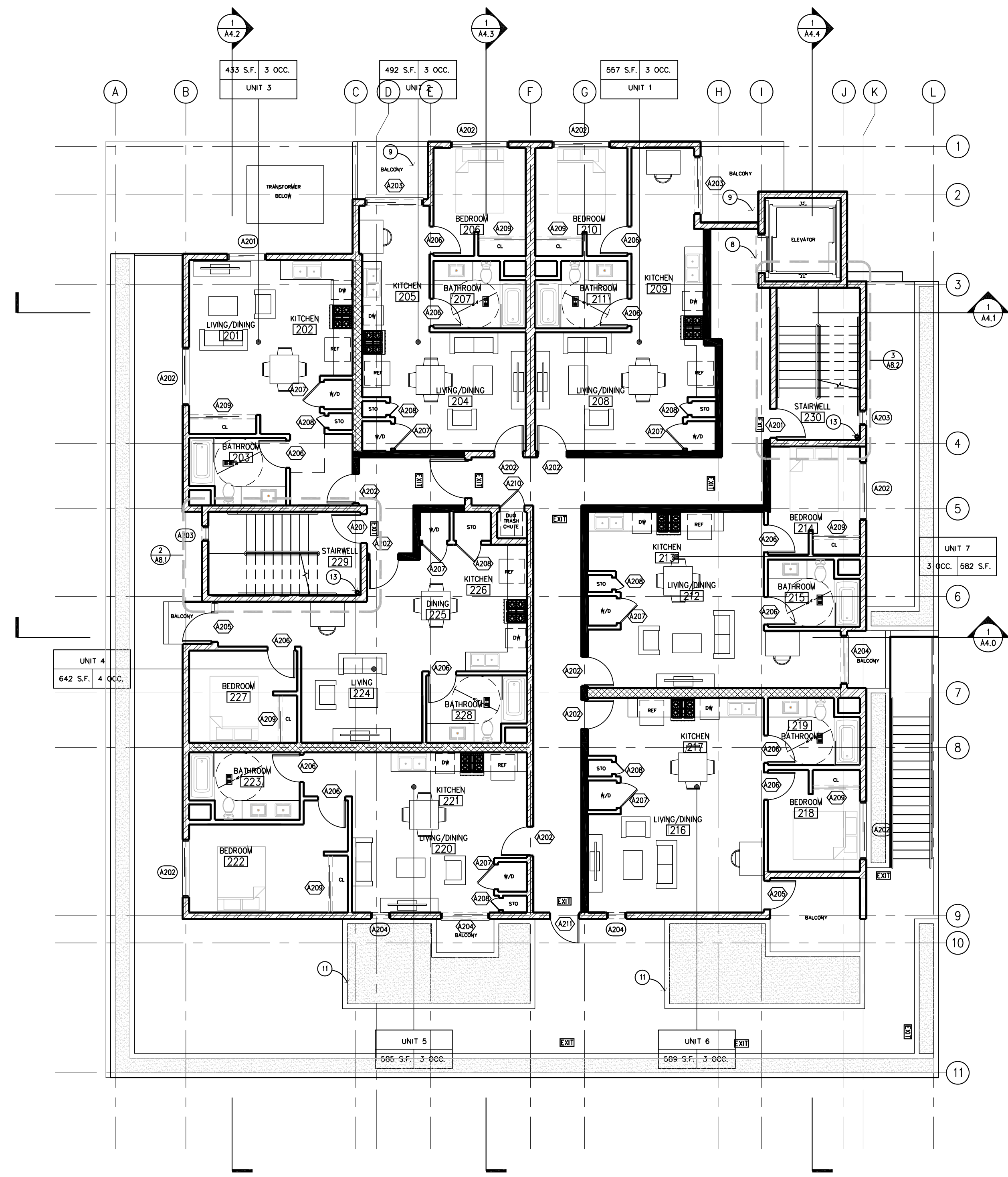
BURBANK BLVD.



KLUMP AVE

GROUND LEVEL PLAN

1/8" = 1'-0" 1



FLOOR PLAN GENERAL NOTES

- 1) SEE STRUCTURAL DRAWINGS AND SOILS REPORT FOR CONCRETE SLAB SPECIFICATIONS.
- 2) SEE CIVIL DRAWINGS FOR GRADING.
- 3) TYPE I CONSTRUCTION, NON-COMBUSTIBLE CONSTRUCTION THROUGHOUT.
- 4) AUTOMATIC FULLY SPRINKLERED FIRE SPRINKLER SYSTEM THROUGHOUT, WITH CLASS 1 STANDPIPE AT STAIR LANDINGS AND EXIT DOORS.
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- 14) FENCE, WALLS, GATE, AND GLASS 9'-0" MAX. HEIGHT TO BE COATED WITH ANTI-GRAFFITI COATING, L.A. RESEARCH NUMBER 25042-T.
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REFERENCE NOTES

- | | |
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| 5) 6" WIDE BY 6" HIGH CMU PERIMETER WALL AT PROPERTY LINE W/ WATERPROOFING LARR# 24860, SEE STRUCTURAL DRAWINGS, SEPARATE PERMIT REQUIRED | 14) ROOF DECKING ABOVE |
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WALL LEGEND

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|---|--|--|
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SEE DETAIL... 2/A7.4 |
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SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
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SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED
SEE DETAIL 1/A7.5 |

2ND LEVEL FLOOR PLAN

1/8" = 1'-0" **1**

OWNER/CLIENT
MR QOZ, LLC.

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PROJECT
BURBANK BLVD.
APARTMENTS

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Approved By PETER SUN

Date Issued 07/21/2021

Scale SEE PLAN

Drawing Title
2ND LEVEL FLOOR PLAN

Drawing No.

A2.2

- of - Sheets

FLOOR PLAN GENERAL NOTES

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- ALL DOWNSPOUTS TO DRAIN TO PROPOSED STORMWATER PLANTERS P1 & P2, SEE CIVIL DRAWING C-4 FOR PLANTER DETAIL.

REFERENCE NOTES

- | | |
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| 1 CONCRETE OVER RECOMPACTED SOIL, SEE SOILS REPORT AND STRUCTURAL REPORT | 10 6'-0" HIGH WROUGHT IRON FENCE W/ ANTI-GRAFFITI PAINT |
| 2 PARKING STALL STRIPING PER CITY OF LOS ANGELES STANDARDS, TYP. | 11 4'-6" HIGH RAISED CMU PLANTER |
| 3 STANDARD PARKING SPACES, TYP. | 12 FIRE DEPT. CONNECTION, WITHIN 100' OF HYDRANT, REQUIRED |
| 4 HANDICAPPED PARKING STALL W/ 8' WIDE VAN ACCESS | 13 CLASS 1 STANDPIPE |
| 5 6" WIDE BY 6" HIGH CMU PERIMETER WALL AT PROPERTY LINE W/ WATERPROOFING LARR# 24860, SEE STRUCTURAL DRAWINGS, SEPARATE PERMIT REQUIRED | 14 ROOF DECKING ABOVE |
| 6 (E) LOCATION OF FIRE HYDRANT | 15 REMOTE GARAGE GATE |
| 7 LINE OF BUILDING ABOVE | 16A (N) BOLLARD |
| 8 SMOKE GUARD, 1CC-ES#ESR-1136 | 16 CONDUIT FOR ELECTRIC CHARGING STATION |
| 9A LINE OF DRAFT STOP & WATER CURTAIN ABOVE | 17 MAILBOX |
| 9A DEX-0-TEX, LARR#2360 | 18 BICYCLE RACKS |
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| 9B FIRE DEPARTMENT KNOX-BOX FOR GARAGE GATE | 20 ROUTING PATHWAY FROM SOLAR ZONE TO MAIN SERVICE PANEL |

WALL LEGEND

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|---|--|---|
| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50 SEE DETAIL... 2/A7.4 |
| 2 | | EXTERIOR STUCCO WALL: 2-HOUR FIRE RATED, STC 50 SEE DETAIL...6/A7.4 |
| 3 | | PARTY WALL: 1-HOUR FIRE RATED, STC 50 SEE DETAIL...3/A7.4 |
| 4 | | ELEVATOR/STAIR ENCLOSURE: 2-HOUR FIRE RATED SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
| 5 | | INTERIOR WALL PARTITION: NON-BEARING SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED SEE DETAIL 1/A7.5 |

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PROJECT
BURBANK BLVD.
APARTMENTS

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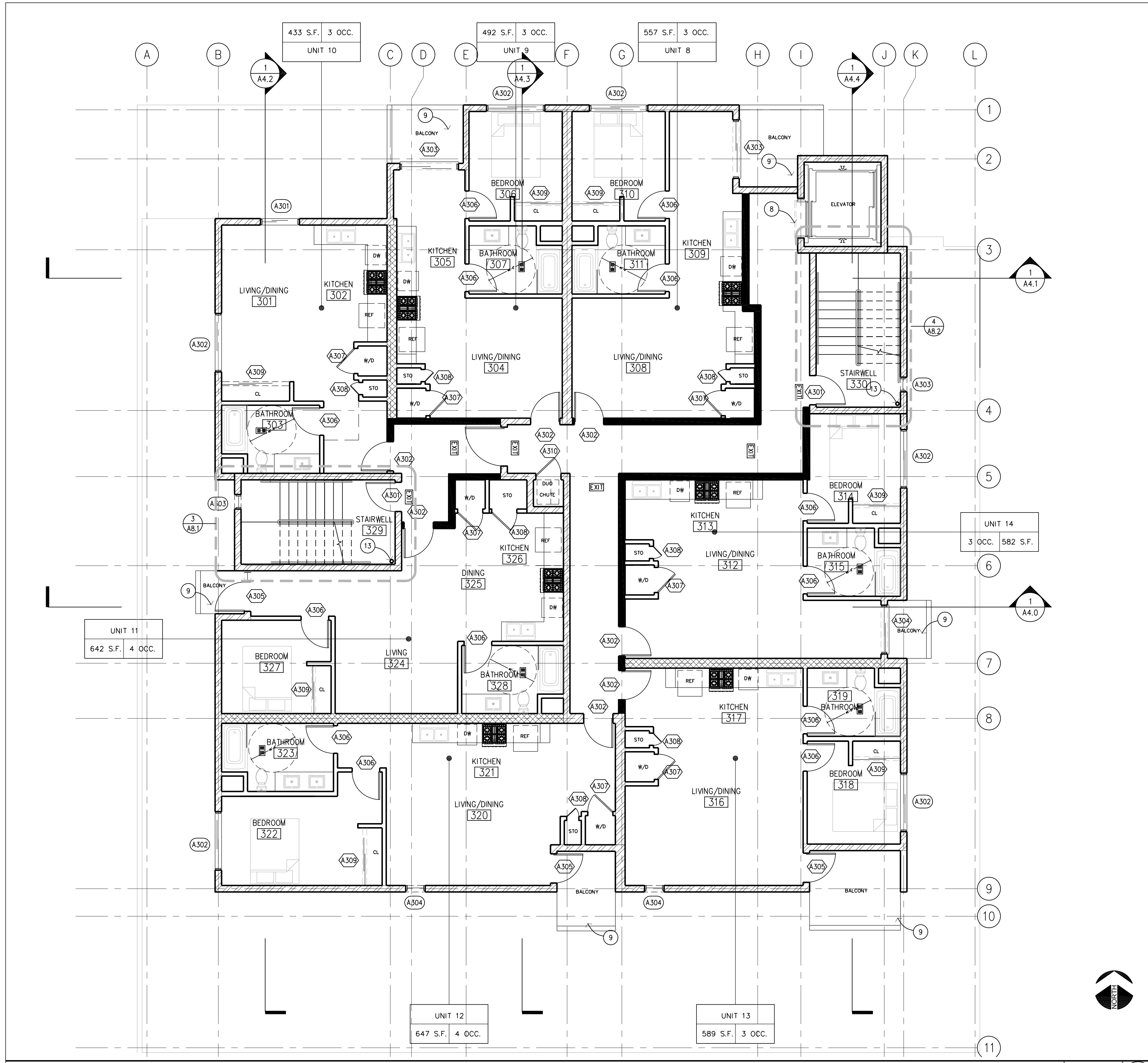
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Date Issued 07/21/2021
Scale SEE PLAN

Drawing Title
3RD LEVEL FLOOR PLAN

Drawing No.

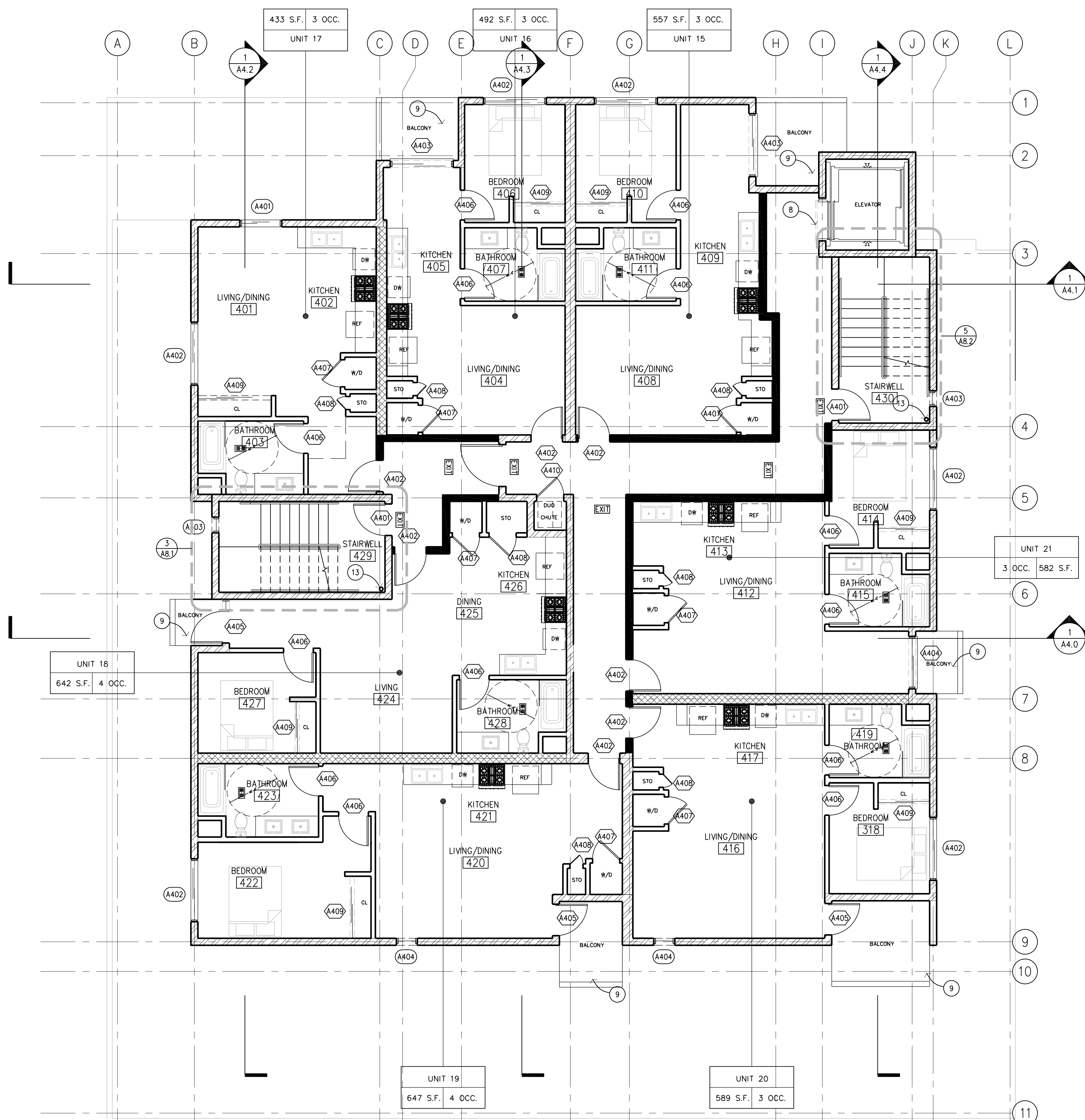
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3RD LEVEL FLOOR PLAN

3/16" = 1'-0" **1**



FLOOR PLAN GENERAL NOTES

- 1). SEE STRUCTURAL DRAWINGS AND SOILS REPORT FOR CONCRETE SLAB SPECIFICATIONS.
- 2). SEE CIVIL DRAWINGS FOR GRADING.
- 3). TYPE 1 CONSTRUCTION, NON-COMBUSTIBLE CONSTRUCTION THROUGHOUT.
- 4). AUTOMATIC FULLY SPRINKLERED FIRE SPRINKLER SYSTEM THROUGHOUT, WITH CLASS 1 STANDPIPE AT STAIR LANDINGS AND EXIT DOORS.
- 5). A FIRE ALARM SYSTEM IS REQUIRED FOR THIS STRUCTURE. PLANS FOR THE FIRE SYSTEM MUST BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATIONS.
- 6). THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 7). FLOORS AT GARAGES SHALL DRAIN TO AN APPROVED OIL SEPARATOR OR TRAP DISCHARGING TO THE SEWER IN ACCORDANCE WITH THE PLUMBING CODE.
- 8). ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN.
- 9). AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- 10). ALL PLUMBING PENETRATION THROUGH WALLS WHICH REQUIRED PROTECTIVE OPENINGS ARE REQUIRED TO BE GALVANIZED OR CAST IRON PLUMBING, SEE PLUMBING DRAWINGS.
- 11). SEE FINISH SCHEDULE FOR FLAME SPREAD RATING OF FINISHES.
- 12). THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- 13). VERIFY ROUGH OPENING DIMENSIONS OF ALL DOORS BEFORE CONSTRUCTION LAYOUT.
- 14). FENCE, WALLS, GATE, AND GLASS 9'-0" MAX. HEIGHT TO BE COATED WITH ANTI-GRAFFITI COATING, L.A. RESEARCH NUMBER 25042-T.
- 15). BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE TO L.A.M.C. 57.09.11.
- 16). DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- 17). THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
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| 6) STRUCTURAL CONCRETE COLUMN, SEE STRUCTURAL DRAWINGS | 15) REMOTE GARAGE GATE |
| 6A) (E) LOCATION OF FIRE HYDRANT | 15A) (N) BOLLARD |
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Scale SEE PLAN

Drawing Title
4TH LEVEL FLOOR PLAN

Drawing No.
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- of - Sheets

4TH LEVEL FLOOR PLAN

3/16" = 1'-0" **1**

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| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50 SEE DETAIL... 2/A7.4 |
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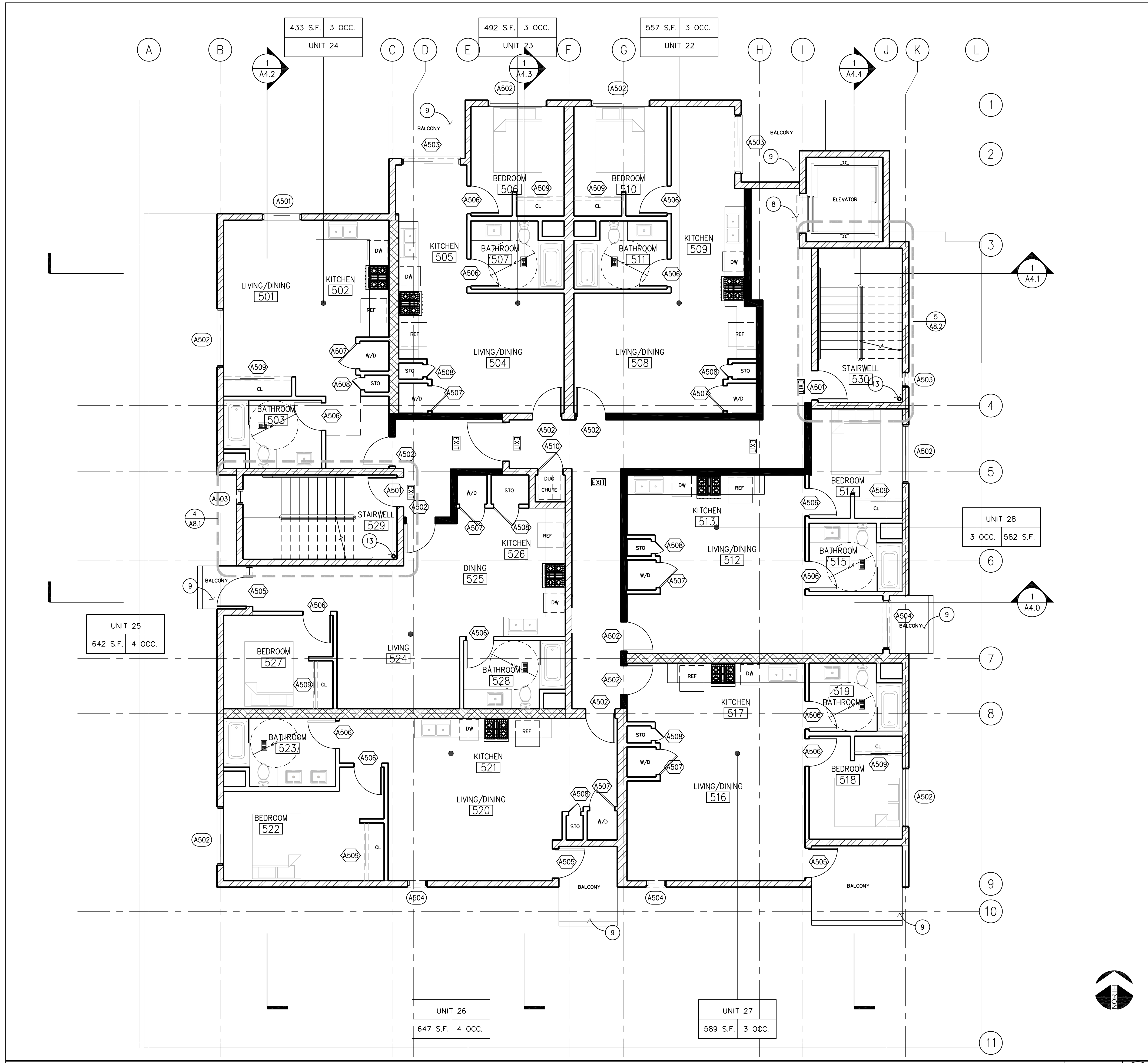
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Scale **SEE PLAN**

Drawing Title
5TH LEVEL FLOOR PLAN

Drawing No.

A2.5

- of - Sheets



5TH LEVEL FLOOR PLAN

3/16" = 1'-0" **1**

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| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50 SEE DETAIL... 2/A7.4 |
| 2 | | EXTERIOR STUCCO WALL: 2-HOUR FIRE RATED, STC 50 SEE DETAIL...6/A7.4 |
| 3 | | PARTY WALL: 1-HOUR FIRE RATED, STC 50 SEE DETAIL...3/A7.4 |
| 4 | | ELEVATOR/STAIR ENCLOSURE: 2-HOUR FIRE RATED SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
| 5 | | INTERIOR WALL PARTITION: NON-BEARING SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED SEE DETAIL 1/A7.5 |

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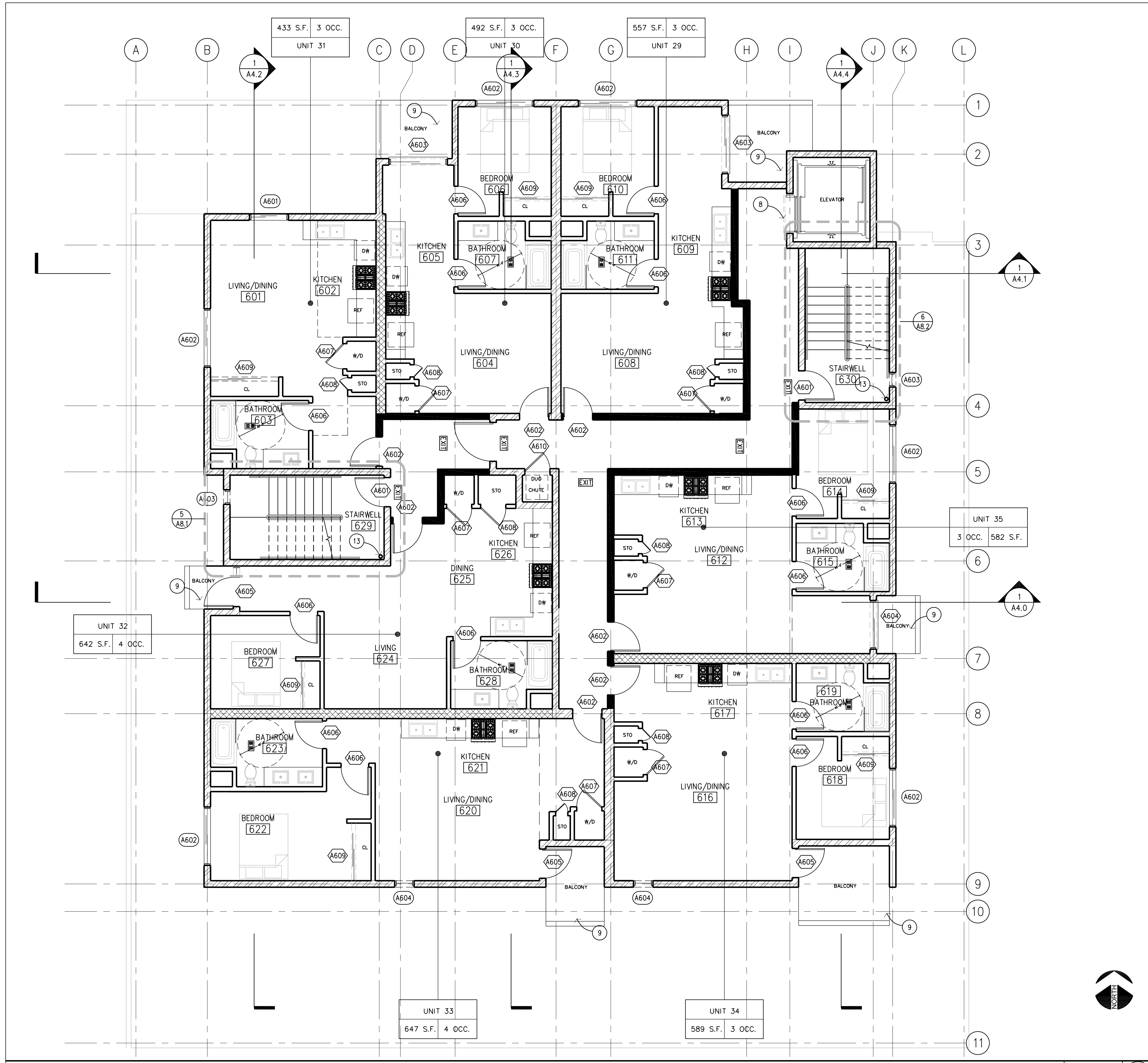
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Drawing Title
6TH LEVEL FLOOR PLAN

Drawing No.

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6TH LEVEL FLOOR PLAN

3/16" = 1'-0" **1**

FLOOR PLAN GENERAL NOTES

- SEE STRUCTURAL DRAWINGS AND SOILS REPORT FOR CONCRETE SLAB SPECIFICATIONS.
- SEE CIVIL DRAWINGS FOR GRADING.
- TYPE I CONSTRUCTION, NON-COMBUSTIBLE CONSTRUCTION THROUGHOUT.
- AUTOMATIC FULLY SPRINKLERED FIRE SPRINKLER SYSTEM THROUGHOUT, WITH CLASS 1 STANDPIPE AT STAIR LANDINGS AND EXIT DOORS.
- A FIRE ALARM SYSTEM IS REQUIRED FOR THIS STRUCTURE. PLANS FOR THE FIRE SYSTEM MUST BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATIONS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- FLOORS AT GARAGES SHALL DRAIN TO AN APPROVED OIL SEPARATOR OR TRAP DISCHARGING TO THE SEWER IN ACCORDANCE WITH THE PLUMBING CODE.
- ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- ALL PLUMBING PENETRATION THROUGH WALLS WHICH REQUIRED PROTECTIVE OPENINGS ARE REQUIRED TO BE GALVANIZED OR CAST IRON PLUMBING, SEE PLUMBING DRAWINGS.
- SEE FINISH SCHEDULE FOR FLAME SPREAD RATING OF FINISHES.
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
- VERIFY ROUGH OPENING DIMENSIONS OF ALL DOORS BEFORE CONSTRUCTION LAYOUT.
- FENCE, WALLS, GATE, AND GLASS 9'-0" MAX. HEIGHT TO BE COATED WITH ANTI-GRAFFITI COATING, L.A. RESEARCH NUMBER 25042-T.
- BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE TO L.A.M.C. 57.09.11.
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE.
- ALL DOWNSPOUTS TO DRAIN TO PROPOSED STORMWATER PLANTERS P1 & P2, SEE CIVIL DRAWING C-4 FOR PLANTER DETAIL.

REFERENCE NOTES

- | | |
|--|--|
| 1 CONCRETE OVER RECOMPACTED SOIL, SEE SOILS REPORT AND STRUCTURAL REPORT | 10 6'-0" HIGH WROUGHT IRON FENCE W/ ANTI-GRAFFITI PAINT |
| 2 PARKING STALL STRIPING PER CITY OF LOS ANGELES STANDARDS, TYP. | 11 1'-6" HIGH RAISED CMU PLANTER |
| 3 STANDARD PARKING SPACES, TYP. | 12 FIRE DEPT. CONNECTION, WITHIN 100' OF HYDRANT, REQUIRED |
| 4 HANDICAPPED PARKING STALL W/ 8' WIDE VAN ACCESS | 13 CLASS 1 STANDPIPE |
| 5 6" WIDE BY 6" HIGH CMU PERIMETER WALL AT PROPERTY LINE W/ WATERPROOFING LARR# 24860, SEE STRUCTURAL DRAWINGS, SEPARATE PERMIT REQUIRED | 14 ROOF DECKING ABOVE |
| 6 STRUCTURAL CONCRETE COLUMN, SEE STRUCTURAL DRAWINGS | 15 REMOTE GARAGE GATE |
| 6A (E) LOCATION OF FIRE HYDRANT | 15A (N) BOLLARD |
| 7 LINE OF BUILDING ABOVE | 16 CONDUIT FOR ELECTRIC CHARGING STATION |
| 8 SMOKE GUARD, 1CC-ES#ESR-1136 | 17 MAILBOX |
| 8A LINE OF DRAFT STOP & WATER CURTAIN ABOVE | 18 BICYCLE RACKS |
| 9 DEX-0-TEX, LARR#2360 | 19 LOCATION FOR INVERTERS & METERING FOR SOLAR ZONE |
| 9A ELECTRIC VEHICLE CHARGER, SEE ELEC. DWGS. FOR FURTHER INFO. | 20 ROUTING PATHWAY FROM SOLAR ZONE TO MAIN SERVICE PANEL |
| 9B FIRE DEPARTMENT KNOX-BOX FOR GARAGE GATE | |

WALL LEGEND

- | | | |
|---|--|---|
| 1 | | FIRE RATED CORRIDOR WALL: 1-HOUR FIRE-RATED FULL HEIGHT WALL, STC 50 SEE DETAIL... 2/A7.4 |
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| 3 | | PARTY WALL: 1-HOUR FIRE RATED, STC 50 SEE DETAIL...3/A7.4 |
| 4 | | ELEVATOR/STAIR ENCLOSURE: 2-HOUR FIRE RATED SEE SHEETS A8.0-A8.1, AND SEE DETAIL 8/A7.4 |
| 5 | | INTERIOR WALL PARTITION: NON-BEARING SEE DETAIL 4/A7.6 |
| 6 | | CONCRETE WALL: 3 HR FIRE RATED SEE DETAIL 1/A7.5 |

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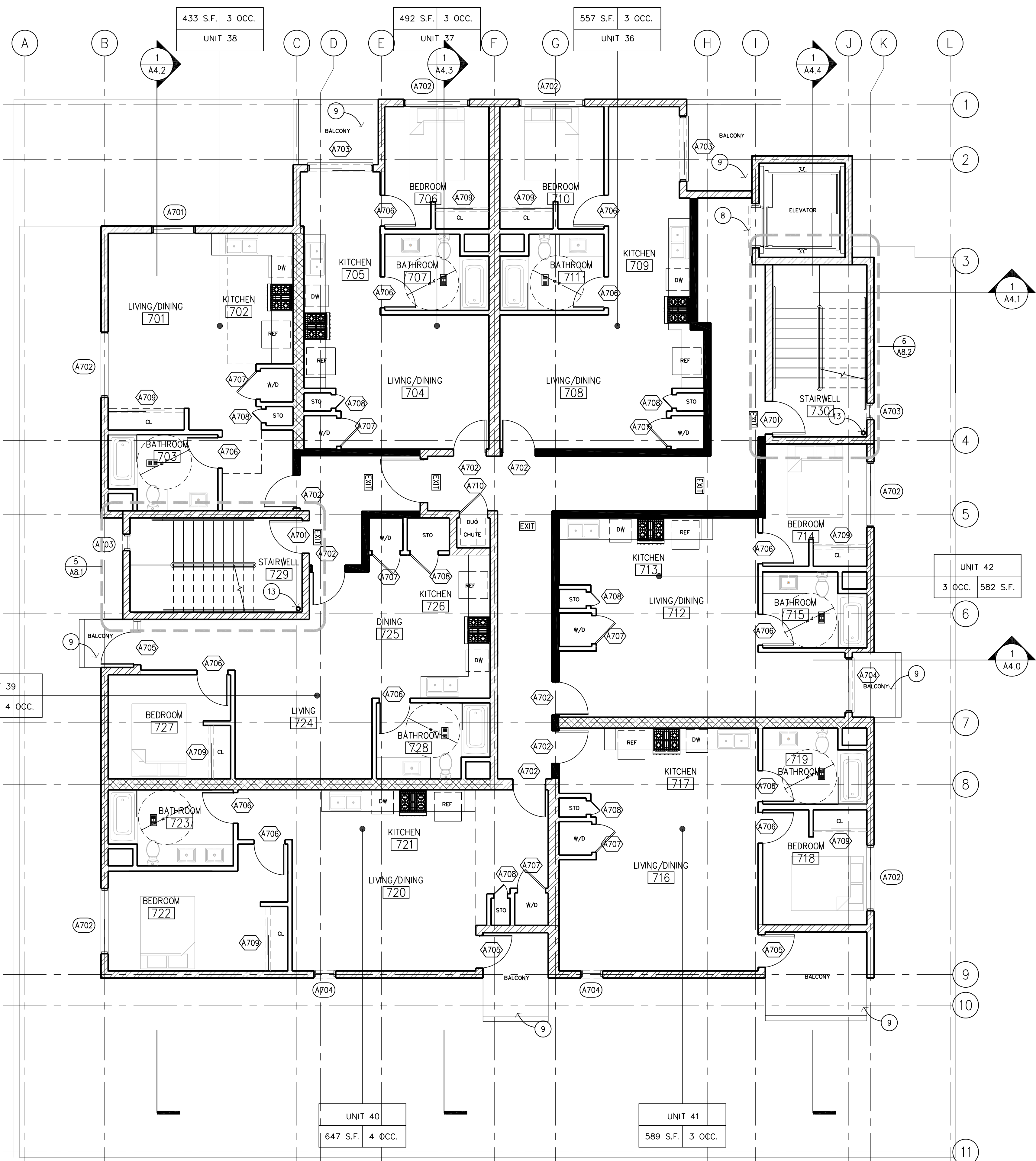
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Drawing Title
7TH LEVEL FLOOR PLAN

Drawing No.

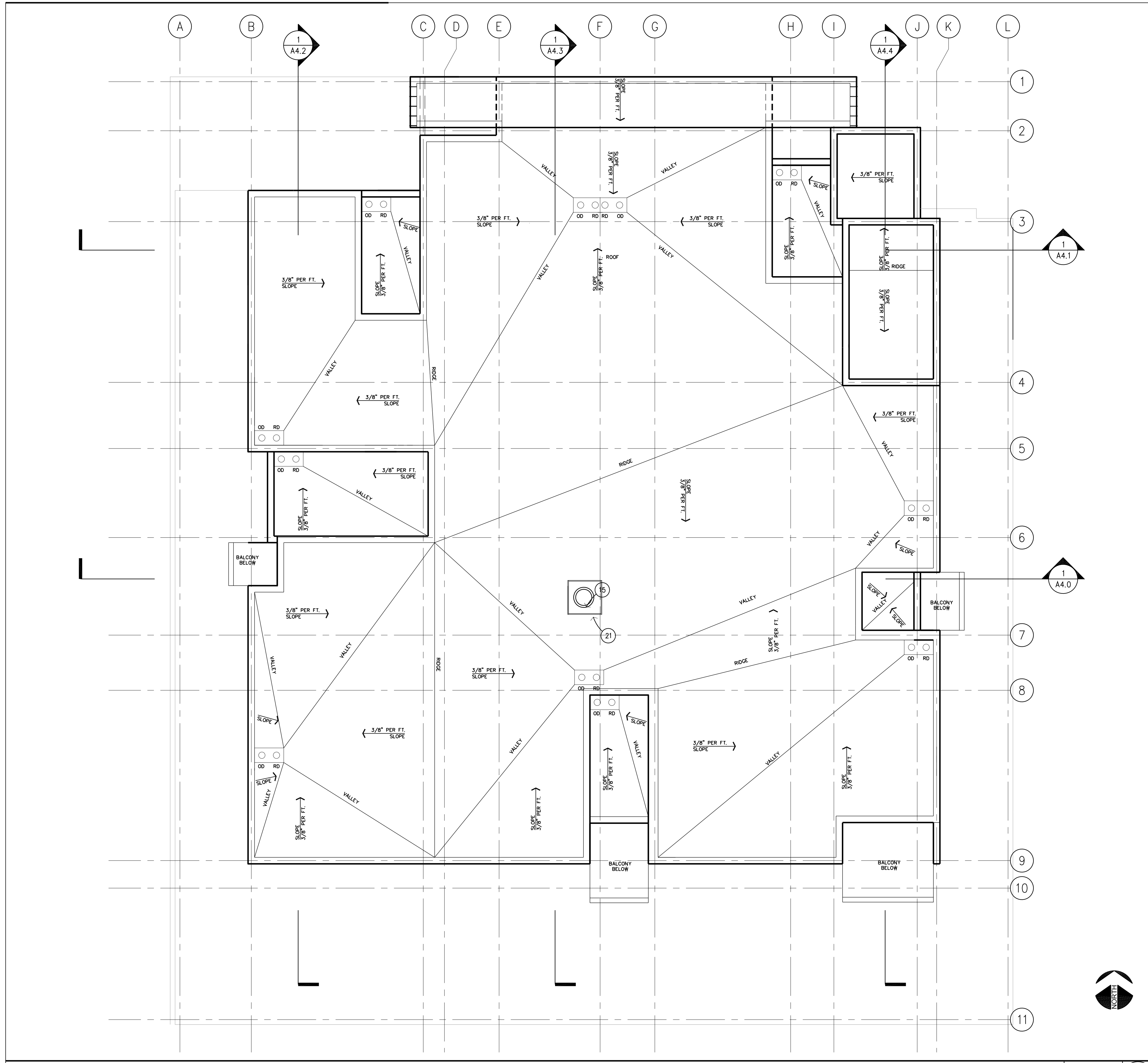
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6TH LEVEL FLOOR PLAN

3/16" = 1'-0" **1**



ROOF LEVEL PLAN

3/16" = 1'-0" **1**

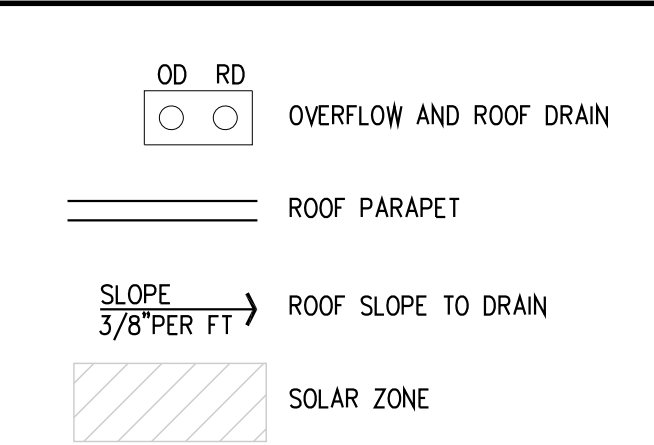
ROOF PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO CENTERLINE OF COLUMN OR TO FACE OF FINISH (U.O.N.)
 - ROOF DECK WELDING SHALL BE INSPECTED PRIOR TO INSTALLATION OF INSULATION
 - FINISH ROOF DECK SHALL BE INSPECTED PRIOR TO INSTALLATION OF CANTS, FLASH, AND ROOFING
 - ROOFING SHALL BE CLASS "A" SINGLE PLY ROOFING
 - ALL OVERFLOW DRAINS SHALL BE 2" ABOVE FILL AT ROOF DRAIN
 - ROOF SHALL BE INSULATED PER SPECIFICATIONS
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIRED ELECTRICAL AND MECHANICAL EQUIPMENT AND/OR ROOF JACKS. REFER TO ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - GENERAL CONTRACTOR SHALL FURNISH AND INSTALL WOOD FRAMING FOR ALL ROOF TOP OPENINGS. REFER TO STRUCTURAL DRAWINGS FOR TYPICAL OPENING FRAMING DETAILS. G.C. SHALL FURNISH AND INSTALL ALL REQUIRED EQUIPMENT PADS, CURBS, AND EQUIPMENT AS SCHEDULED.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATION LOCATIONS SHOWN ON ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTACT ARCHITECT FOR DIRECTION SHOULD ANY CONFLICT ARISE. NO ADDITIONAL EXPENSE TO THE OWNER SHALL BE ALLOWED FOR ROOF PENETRATIONS SHOWN ON PLUMBING, MECHANICAL, OR ELECTRICAL DRAWINGS; NOT SPECIFICALLY REFERENCED ON ARCHITECTURAL AND/OR STRUCTURAL PLANS, ROOF PLAN, OR FRAMING PLANS.
 - ALL ROOFING PENETRATIONS SHALL BE PLACED A MINIMUM OF 18" AWAY FROM ADJACENT PENETRATIONS, CURB UNITS, AND PERIMETER WALLS.
 - NO UNPROTECTED PITCH POCKETS SHALL BE USED. USE HOODED BOX OR UMBRELLA HOOD DETAIL.
 - WHERE IT IS NECESSARY TO CLUSTER SMALL PIPES (I.E., REFRIGERANT LINES), CONSTRUCT METAL BOX WITH HOOD AND ELBOW PIPING 6" TO 12" ABOVE THE MEMBRANE ELEVATION IN ONE OR TWO DIRECTIONS ONLY.
 - ALL PLASTIC PIPES SHALL HAVE A TWO-PART LEAD JACKET OR AN ALTERNATIVE FLASHING THAT ALLOWS FOR DIMENSIONAL CHANGE OF THE PIPING. THE LOW PROFILE, FLANGED-NEOPRENE TYPE FLASHINGS ARE NOT ACCEPTABLE.
 - PIPE SUPPORTS LYING ON THE ROOF SHALL BE CONSTRUCTED UTILIZING TREATED WOOD BLOCKS WITH SHEET METAL COVERS AND LOOSE SHEET METAL STRAPS. BLOCKS SHALL BE SUPPORTED ON MBS PADS
 - ALL CURBED HVAC UNITS SHALL HAVE 24-GAUGE, GALVANIZED SHEET METAL COUNTERFLASHINGS, A MINIMUM OF 4" HIGH GIRTH, SCREWED TO WOOD BLOCKING AT TOP OF CURB (PROVIDED BY MECHANICAL CONTRACTOR).
 - GAS PIPES AND CONTINUOUS RUNS OF OTHER PIPING SHALL HAVE A "U" EXPANSION JOINT PROVISION WITH STRAIGHT-LINE RUNS EXCEEDING 150 FEET. GAS PIPE REGULATORS AND T'S OR TRAPS SHALL BE SET MINIMUM 1" ABOVE THE ROOF ELEVATION. ALL GAS LINES SHALL BE INSTALLED PER FACTORY MUTUAL SPECIFICATIONS.
 - UNUSUAL ROOFTOP PENETRATIONS SHALL HAVE SHOP DRAWINGS SUBMITTED FOR APPROVAL SHOWING FLASHING CONSTRUCTION.
 - ALL MTL. ROOF COPINGS AND METAL EXPANSION JOINT MATERIALS SHALL BE PROVIDED WITH FACTORY FINISH. ON SITE PAINTED MATERIALS ARE NOT ACCEPTABLE.
 - ALL SHEET METAL TO BE INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS.
 - POLYSOCYANURATE PANELS SHALL BE PLACED WITH THE LENGTH PERPENDICULAR TO THE DECK FLUTES. PERLITE BOARDS SHALL BE PLACED WITH THE LENGTH RUNNING PARALLEL TO THE DECK FLUTES. ALL JOINTS SHALL BE STAGGERED A MINIMUM OF 24".
 - WELD WIDTH SHALL BE A MINIMUM 1 1/2" IN WIDTH FOR AUTOMATIC MACHINE WELDING. WELD WIDTH SHALL BE A MINIMUM OF 2" IN WIDTH FOR HAND WELDING.
- MEMBRANE LAPS SHALL BE HEAT-WELDED TOGETHER. ALL WELDS SHALL BE CONTINUOUS, WITHOUT VOIDS OR PARTIAL WELDS. WELDS SHALL BE FREE OF BURNS AND SCORCH MARKS.
- OVERLAP ROOF MEMBRANE A MINIMUM OF 5" FOR SIDE LAPS OF MECHANICALLY ATTACHED SYSTEMS, AND A MINIMUM OF 3" FOR END LAPS.
- REFER TO ROOFING MANUF. SYSTEM GUIDELINES TO DETERMINE FASTENER SPACING FOR VARIOUS DECK TYPES AND WIND UPLIFT REQUIREMENTS.
- INSTALL RADIANT BARRIER UNDER ALL ROOF PLYWOOD SHEATHING.
- ROOF SHALL BE A MINIMUM VALUE OF 75% SOLAR REFLECTANCE INDEX (SRI).
- INSTALL TWO 2" ELECTRICAL CONDUITS FROM THE ROOF TO THE ELECTRICAL PANELS FOR FUTURE SOLAR PHOTOVOLTAIC INSTALLATION.
- ALL ROOF RUNOFF TO DRAIN TO PROPOSED STORMWATER PLANTERS P1 & P2. SEE CIVIL DRAWING C-5 FOR PLANTER DETAIL.

REFERENCE NOTES

- | | |
|--|--|
| ① CONCRETE OVER RECOMPACTED SOIL. SEE SOILS REPORT AND STRUCTURAL REPORT | ⑬ CLASS I STANDPIPE |
| ② PARKING STALL STRIPING PER CITY OF LOS ANGELES STANDARDS, TYP. | ⑭ ROOF DECKING ABOVE |
| ③ STANDARD PARKING SPACES, TYP. | ⑮ MECHANICAL VENT, SEE MECHANICAL DRAWINGS |
| ④ HANDICAPPED PARKING STALL W/ 8' WIDE VAN ACCESS | ⑯ 42" BUILT-IN PLANTERS FOR AREA SEPARATION, THROUGH BUILDING MODIFICATION |
| ⑤ 6" WIDE BY 6" HIGH CMU PERIMETER WALL AT PROPERTYLINE. SEE STRUCTURAL DRAWINGS | ⑰ MECHANICAL UNITS, SEE MECHANICAL DRAWINGS |
| ⑥ STRUCTURAL CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS | ⑱ 1" INSIDE DIA. RACEWAY FOR ELECTRIC CHARGING STATION |
| ⑦ LINE OF BUILDING ABOVE | ⑲ SMOKE GUARD, ICC-ES ESR-1136 |
| ⑧ 10" THICK CONCRETE PERIMETER PARKING WALL | ⑳ DEX-O-TEX, LARR#2360 |
| ⑨ LINE OF STANDING SEAM METAL CANOPY ABOVE ENTRY TO BUILDING | ㉑ 42" WROUGHT IRON GUARDRAIL |
| ⑩ 6'-0" HIGH WROUGHT IRON FENCE W/ ANTI-GRAFFITI PAINT | ㉒ LOCATION FOR INVERTERS & METERING FOR SOLAR ZONE |
| ⑪ 1'-6" HIGH RAISED CMU PLANTER | ㉓ 1" INSIDE DIA. RACEWAY FROM SOLAR ZONE TO MAIN SERVICE PANEL |
| ⑫ LINE OF DRAFT STOP AND WATER CURTAIN ABOVE | ㉔ ROUTING PATHWAY FROM SOLAR ZONE TO WATER HEATERS |

ROOF LEGEND



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PROJECT
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APARTMENTS

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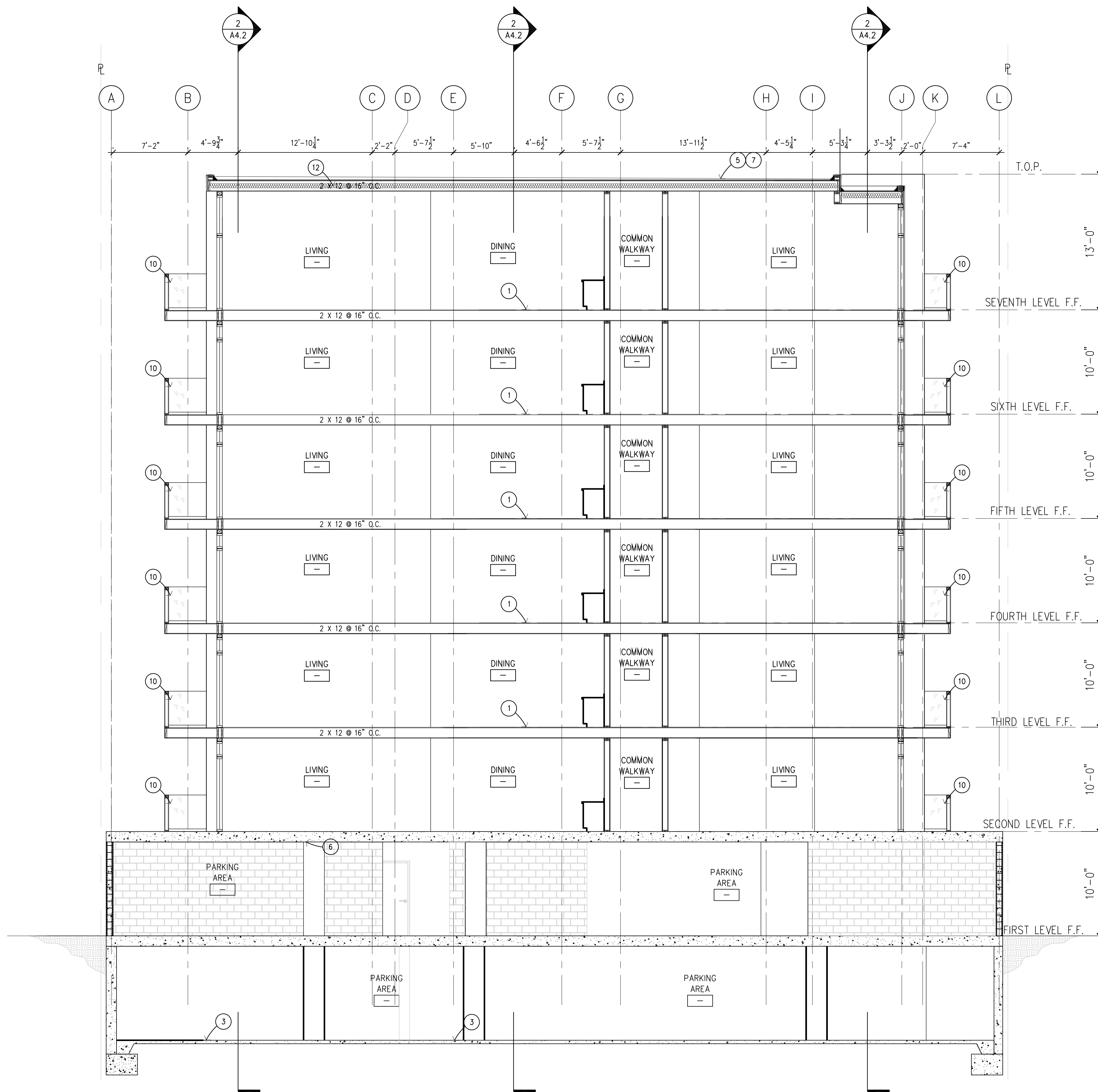
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Drawing Title
ROOF LEVEL PLAN

Drawing No.

A2.8

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REFERENCE NOTES

- 1 1 1/2" CONCRETE TOPPING SLAB OVER 3/4" CDX PLYWOOD SHEATHING
- 2 LINE OF STRUCTURAL CONCRETE BEAM IN FOREGROUND
- 3 NEW 4" THICK CONC. SLAB ON GRADE, REINFORCE W/ #4 AT 16" O.C. E.W.
- 4 NEW METAL RAILING ALONG PATH OF EXIT BEYOND
- 5 60 MIL. TPO SINGLE PLY ROOFING MEMBRANE W/ MIN. VALUE 75% SRI, OVER POLYISOCYANURATE INSULATION, OVER 3/4" PLYWOOD SHEATHING
- 6 12" POUR-IN-PLACE CONCRETE PODIUM SLAB
- 7 CERTAINTED FLINTASTIC GTA COOLSTAR, WHITE W/SRI 86
- 8 -
- 9 STANDING SEAM METAL EXTERIOR CLADDING
- 10 TEMPERED GLASS PANEL BALCONY RAILING
- 11 18" MIN. DRAFT STOP W/ DRAFT CURTAIN
- 12 NEW MIN. R-30 INSULATION
- 13 NEW MIN. R-19 INSULATION
- 14 NEW SOFFIT

EXTERIOR FINISH SCHEDULE

OWNER/CLIENT
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Drawing Title
BUILDING SECTION

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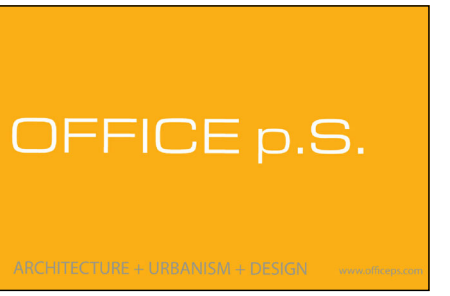
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- 13 NEW MIN. R-19 INSULATION
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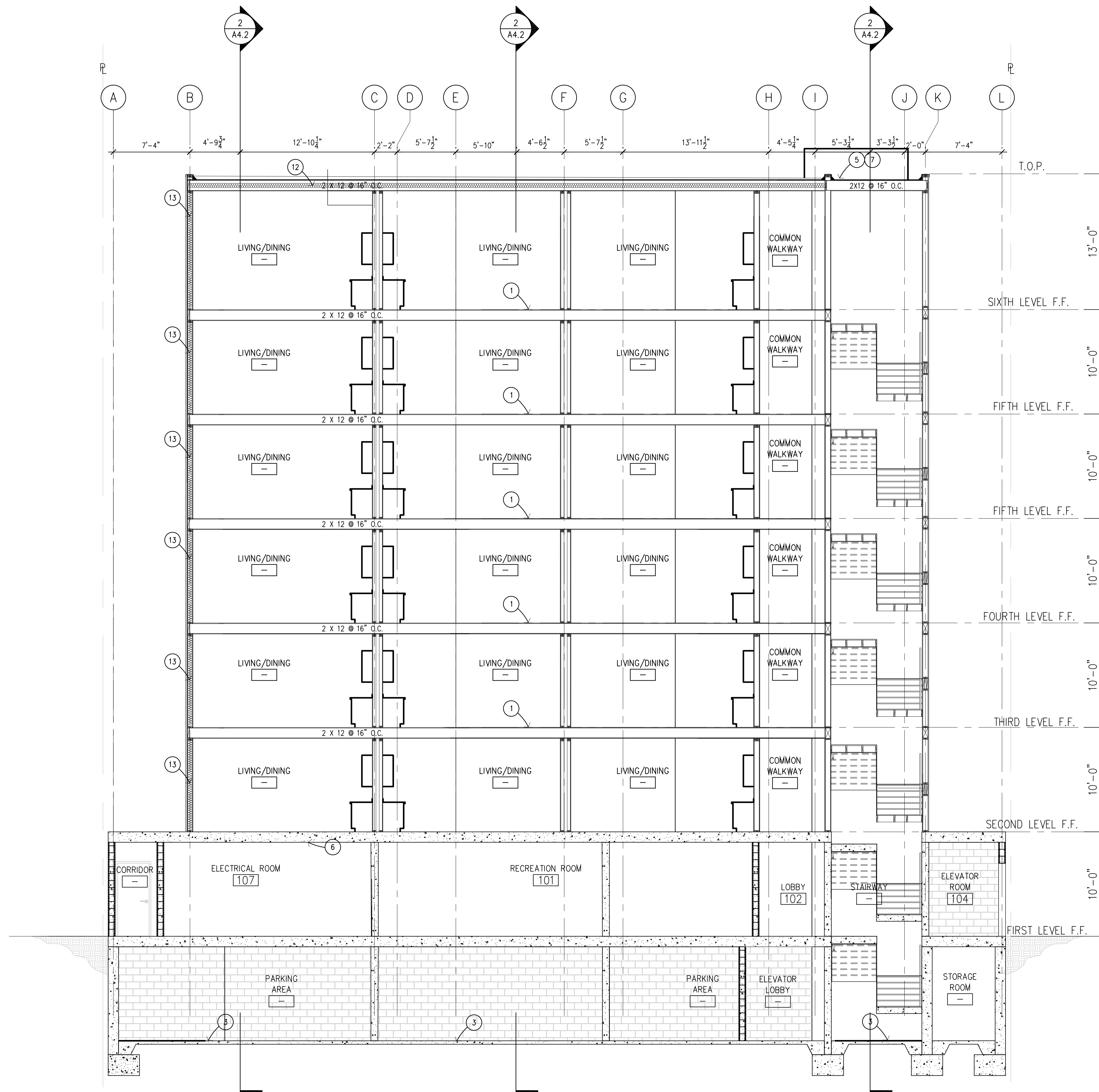
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BUILDING SECTION

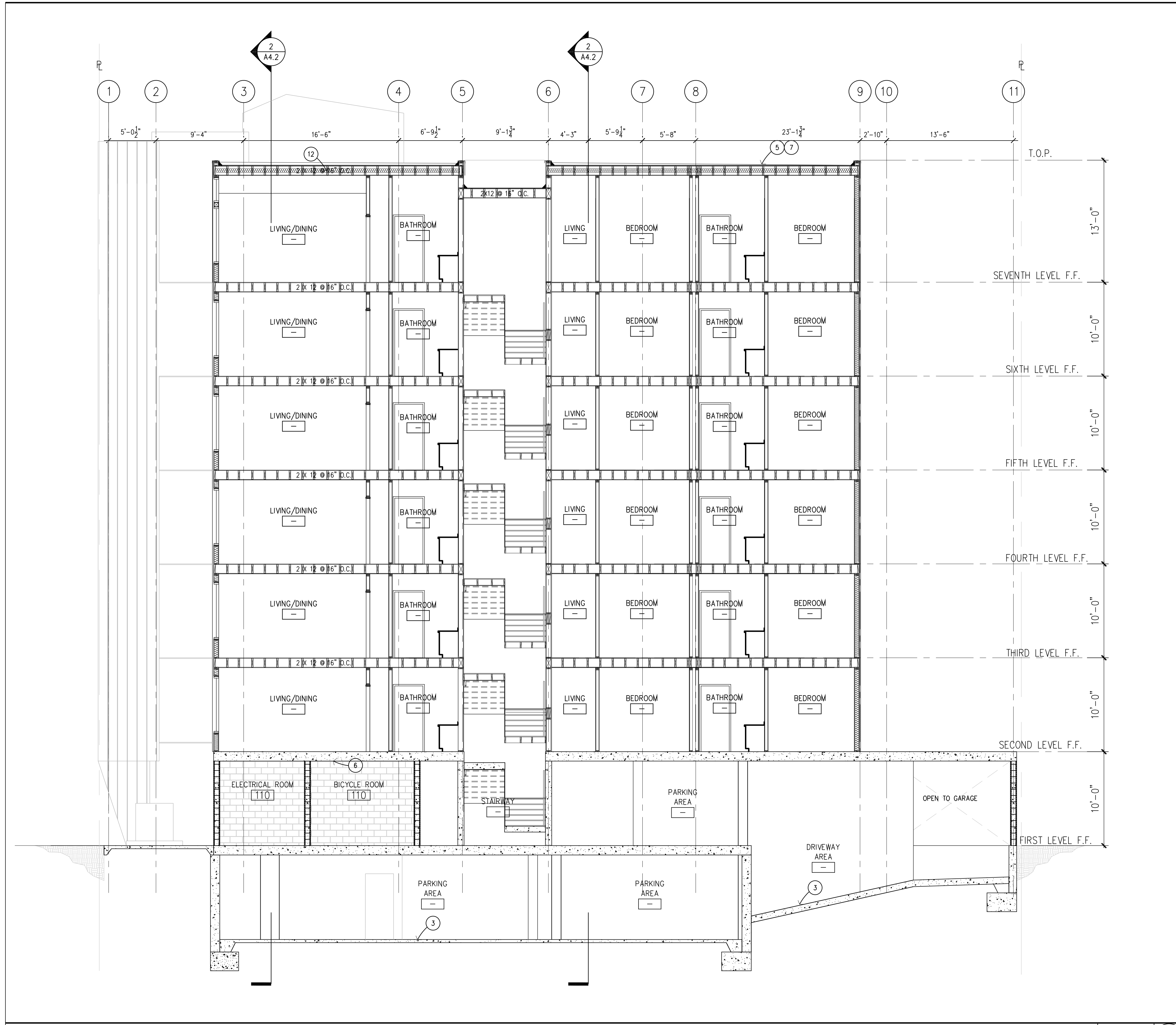
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BUILDING SECTION 3/16" = 1'-0" 1



- ### REFERENCE NOTES
- ① 1 1/2" CONCRETE TOPPING SLAB OVER 3/4" CDX PLYWOOD SHEATHING
 - ② LINE OF STRUCTURAL CONCRETE BEAM IN FOREGROUND
 - ③ NEW 4" THICK CONC. SLAB ON GRADE, REINFORCE W/ #4 AT 16" O.C. E.W.
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 - ⑥ 12" POUR-IN-PLACE CONCRETE PODIUM SLAB
 - ⑦ CERTAINTED FLINTASTIC GTA COOLSTAR, WHITE W/SRI 86
 - ⑧ -
 - ⑨ STANDING SEAM METAL EXTERIOR CLADDING
 - ⑩ TEMPERED GLASS PANEL BALCONY RAILING
 - ⑪ 18" MIN. DRAFT STOP W/ DRAFT CURTAIN
 - ⑫ NEW MIN. R-30 INSULATION
 - ⑬ NEW MIN. R-19 INSULATION
 - ⑭ NEW SOFFIT

EXTERIOR FINISH SCHEDULE

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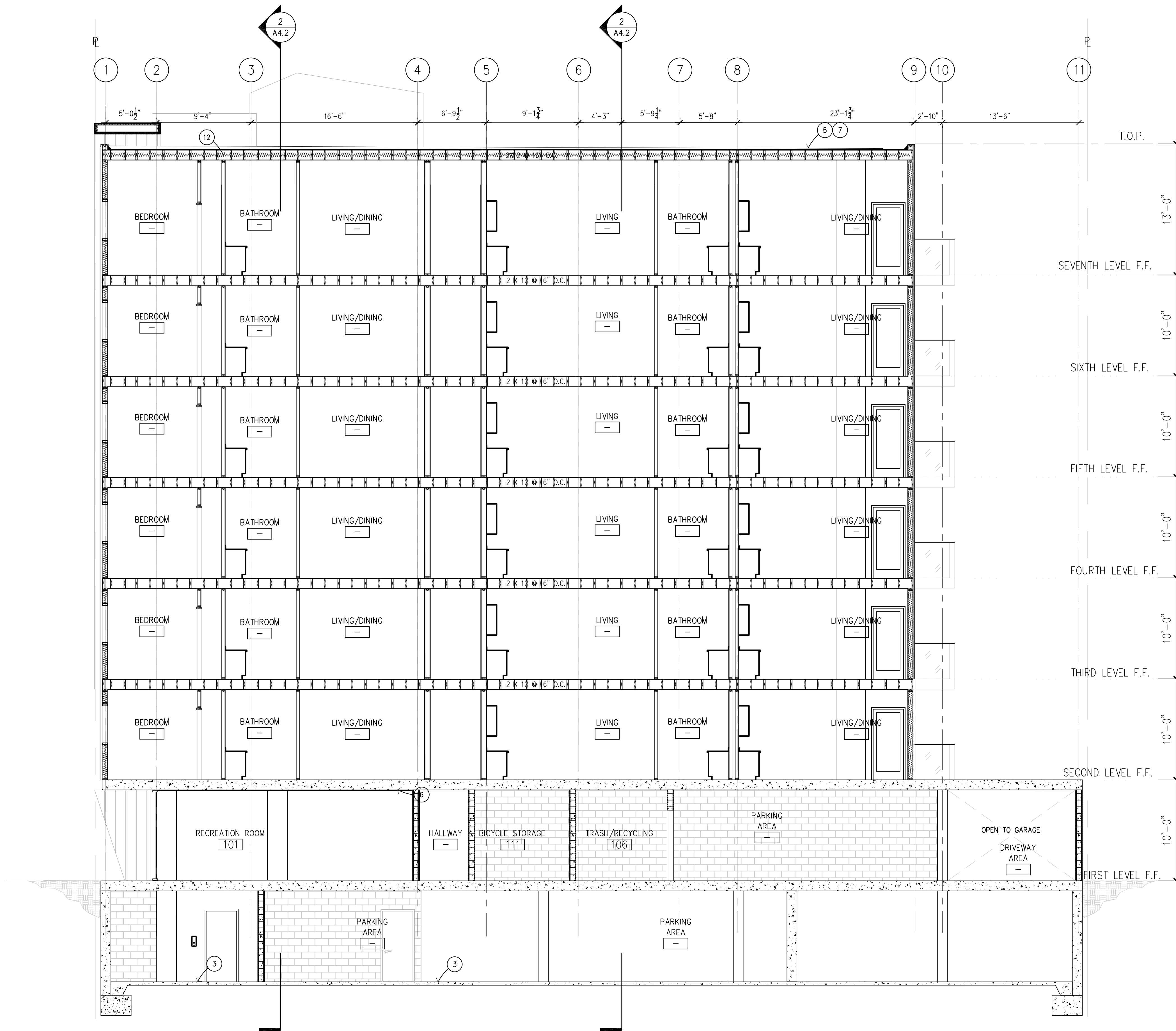
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Drawing Title
BUILDING SECTION

Drawing No.

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REFERENCE NOTES

- 1 1 1/2" CONCRETE TOPPING SLAB OVER 3/4" CDX PLYWOOD SHEATHING
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- 8 -
- 9 STANDING SEAM METAL EXTERIOR CLADDING
- 10 TEMPERED GLASS PANEL BALCONY RAILING
- 11 18" MIN. DRAFT STOP W/ DRAFT CURTAIN
- 12 NEW MIN. R-30 INSULATION
- 13 NEW MIN. R-19 INSULATION
- 14 NEW SOFFIT

EXTERIOR FINISH SCHEDULE

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OWNER/CLIENT ADDRESS
11150 SEPULVEDA BLVD. 2ND FLR
MISSION HILLS, CA 91345

OFFICE p.s.

10801 NATIONAL BLVD, SUITE 602
LOS ANGELES, CA 90064
PHONE: 424-248-3130 WEB: www.officeps.com

PROJECT
BURBANK BLVD. APARTMENTS

No.	DATE	REVISIONS
1	-	-
2	-	-

Stamp:

PROJECT NO.

Checked By **PETER SUN**

Approved By **PETER SUN**

Date Issued **07/21/2021**

Scale **SEE PLAN**

Drawing Title
BUILDING SECTION

Drawing No.
A4.3

of Sheets

BUILDING SECTION 3/16" = 1'-0" **1**

REFERENCE NOTES

- ① 1 1/2" CONCRETE TOPPING SLAB OVER 3/4" CDX PLYWOOD SHEATHING
- ② LINE OF STRUCTURAL CONCRETE BEAM IN FOREGROUND
- ③ NEW 4" THICK CONC. SLAB ON GRADE, REINFORCE W/ #4 AT 16" O.C. E.W.
- ④ NEW METAL RAILING ALONG PATH OF EXIT BEYOND
- ⑤ 60 MIL. TPO SINGLE PLY ROOFING MEMBRANE W/ MIN. VALUE 75% SRI, OVER POLYISOCYANURATE INSULATION, OVER 3/4" PLYWOOD SHEATHING
- ⑥ 12" POUR-IN-PLACE CONCRETE PODIUM SLAB
- ⑦ CERTAINTED FLINTASTIC GTA COOLSTAR, WHITE W/SRI 86
- ⑧ -
- ⑨ STANDING SEAM METAL EXTERIOR CLADDING
- ⑩ TEMPERED GLASS PANEL BALCONY RAILING
- ⑪ 18" MIN. DRAFT STOP W/ DRAFT CURTAIN
- ⑫ NEW MIN. R-30 INSULATION
- ⑬ NEW MIN. R-19 INSULATION
- ⑭ NEW SOFFIT

EXTERIOR FINISH SCHEDULE

OWNER/CLIENT
MR QOZ, LLC.

OWNER/CLIENT ADDRESS
11150 SEPULVEDA BLVD. 2ND FLR
MISSION HILLS, CA 91345



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PROJECT
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Scale **SEE PLAN**

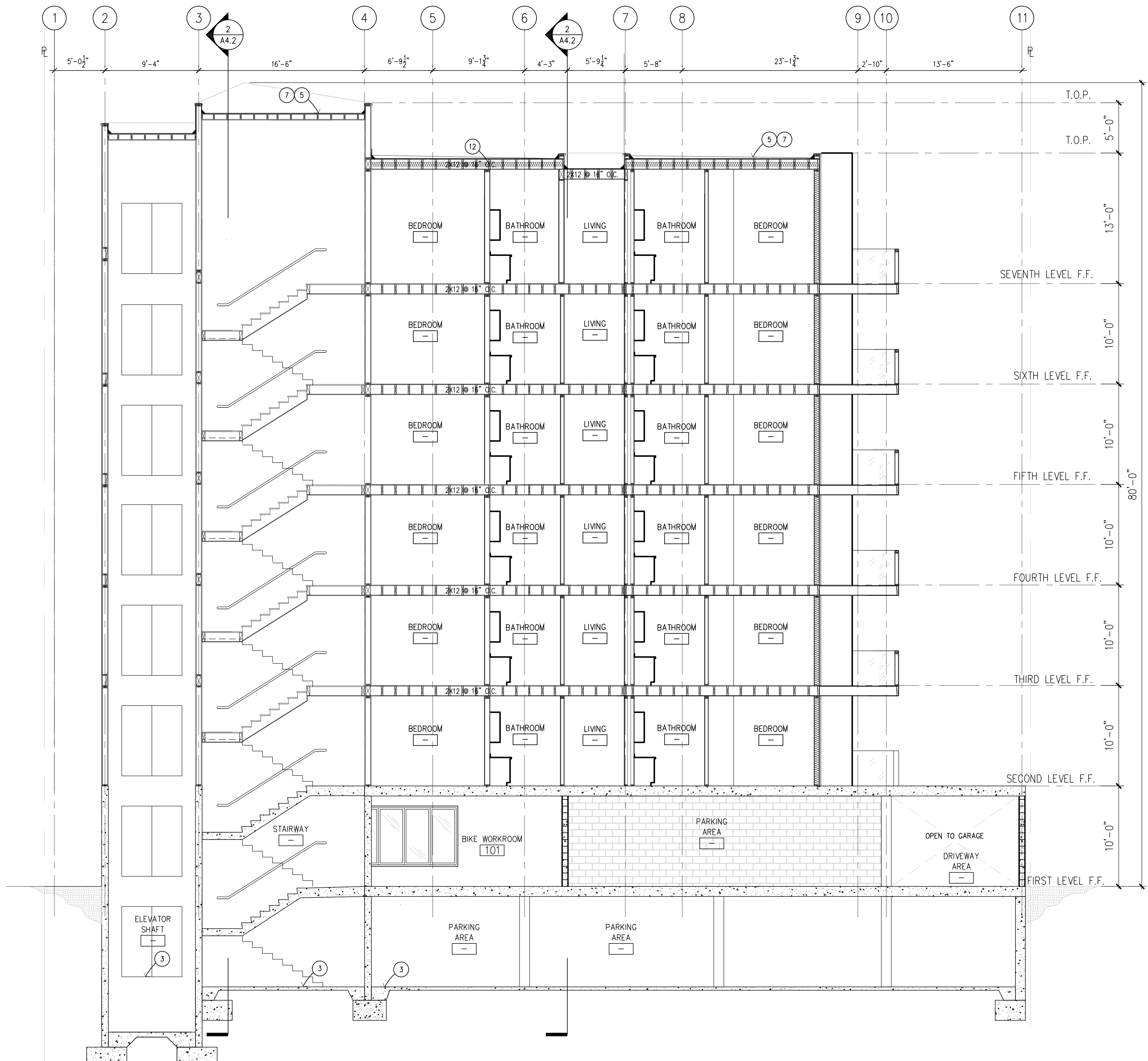
Drawing Title

BUILDING SECTION

Drawing No.

A4.4

- of - Sheets



BUILDING SECTION 3/16" = 1'-0" **1**







